



Detached Garage Permitting Guide

How to Submit:

Option 1 – Online through e-permit at denvergov.org/epermits.

1. Sign in to e-permits
2. Select Development Services > Apply for a permit
3. Select a Permit Type > Building Log
4. On the project details page, under project information, select the following:
 - a. Project Classification: Single Family/Duplex Residential
 - b. Project Scope: New Accessory Structure

Option 2 – In person. Make an appointment for the “Log In” counter at denvergov.org/DS

How to resubmit:

Option 1 – Online through e-permit at denvergov.org/epermits.

1. Sign in to e-permits
2. Select My Records and find the appropriate Log record
3. Select Record Info, then Attachments to add additional documents
4. Upload new/revised documents and click Save

Option 2 – In person. Make an appointment for the “Resubmittal” counter at denvergov.org/DS

Option 3 – Email. If your project was initially logged in via email, permits have not yet been issued, email your documents to PlanReview@denvergov.org.

Questions?

General permitting questions: PlanReview@denvergov.org or (720) 865-2720

Technical questions: ResidentialPermits@denvergov.org or (720) 865-2710

For questions, please allow up to 48 hours for a response.



Detached Garage Permitting Guide

1 Do you need other approvals/permits?

All garages need zoning, building, and Sewer Use and Drainage Permits (SUDP). The SUDP review will start when the zoning/building submittal is received.

Depending on your project, you may need the following *before* you can apply for permits (listed in order):

- Landmark Certificate of Appropriateness - All residential projects involving the exterior of a designated landmark or structure in a historic district must be reviewed first by Landmark staff. See denvergov.org/preservation to learn more.
- Forestry - If there are public right-of-way trees, or trees requiring protection in the primary street setback or side street setback, contact the Office of the City Forester at 720-913-0651 or forestry@denvergov.org. See denvergov.org/forestry to learn more.
- Demolition - Obtain a separate demolition permit if you plan to remove an existing accessory structure prior to erecting a new accessory structure. See the “Demolition” page of denvergov.org/DS for details.

Other permits you may need for your project:

- Quick Permits for roofing or electrical work - Visit denvergov.org/quickpermits to apply for these online.
- Right-of-Way Street Occupancy Permit - Visit denvergov.org/pwpermits.

2 What do I need to submit for zoning, building, and SUDP permits?

- A complete application and statement of valuation (attached).
- Boundary (vacant land) or improvement survey (if there are existing structures) for any construction within three feet of a property line.
- A dimensioned site plan. For SUDP, include the size, type, and location of water, storm sewer, and sanitary sewer lines on your site plan.
- Dimensioned elevations (use the template provided or submit scaled drawings).
- Building plans, details, and specifications for garage construction that clearly show the following:

- | | |
|---|---|
| 1) Stud size and spacing | 11) Wall and roof sheathing |
| 2) Rafter / truss size and spacing | 12) Fire wall / rated projection detail and locations |
| 3) Ridge board / ridge beam size | 13) Top plate and sill plate size and specifications |
| 4) Collar tie size and spacing | 14) Ceiling height |
| 5) Roof span | 15) Exterior material, label each building component indicating color(non-paint) and finish |
| 6) Foundation / slab details | 16) Manufacturer cut sheets for all materials, windows, siding and doors. |
| 7) Wall covering | 17) Show window/door openings and major protrusions or indentations. |
| 8) Shear wall detail / anchor bolts | |
| 9) Header size / span/ number of trimmers | |
| 10) Roof covering, pitch and overhangs | |

This guide contains sample site plans and elevations. For additional guidance, visit denvergov.org/DS > Home Projects > Outside the Home for zoning tip sheets, and denvergov.org/SUDP for SUDP requirements.

Homeowners may apply for building permits without a contractor but will need to meet specific eligibility criteria and submit a signed affidavit, as outlined on the “Homeowner Permits” page of denvergov.org/DS. You must also show a valid photo I.D. that matches the property owner name listed in the Denver Assessor’s database.



Permit Application

Submit this application if you chose Option 2 — in person.

PROJECT TYPE (CHECK ALL THAT APPLY):		
<input type="checkbox"/> New primary structure	<input type="checkbox"/> New Type-approved	<input type="checkbox"/> Landmark
<input type="checkbox"/> ADU - New structure or conversion	<input type="checkbox"/> Addition, small (<400sf)	<input type="checkbox"/> Zoning-only review
<input type="checkbox"/> New Master	<input type="checkbox"/> Addition, large (>400sf)	<input type="checkbox"/> Other: _____

APPLICANT INFORMATION

Correspondence will be sent to the applicant listed below.

Property Owner	Name:	Phone:
	Address:	City:
	Email:	ZIP Code:
Applicant (Required)	Name:	Phone:
	Company Name:	
	Address:	City:
	Email:	ZIP Code:
Contractor Information License # _____	Name:	Phone:
	Company Name:	
	Address:	City:
	Email:	ZIP Code:

SUBJECT PROPERTY INFORMATION

Property Address: _____

PROPOSAL

<p>Scope of Work</p> <p>Describe the nature of the proposed project.</p>	
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SIGNATURE REQUIRED

To the best of my knowledge and belief, I attest that the information stated in this application and in all supporting plans and documents is true and accurate.

Signature of Owner or Authorized Owner Representative _____

Full Name (Print) _____ Date _____

Note: For paper submittals, proof of home ownership and/or contractor’s license must be verified at time of permit issuance.
NO REFUND WILL BE GIVEN FOR ANY PLAN REVIEW FEE COLLECTED BASED ON THE VALUATION PROVIDED BY APPLICANT.

Statement of Valuation Form

For proposed work for single-family and duplex projects

Project Address: _____

Plan review and permit fees are based on your project valuation. Visit www.denvergov.org/dsfees for fee schedules.

Notes:

- Valuation is based on the total replacement cost to the owner (include labor, profit, overhead, materials, equipment, and installation).
- Batt insulation in floors and roofs, and all wall insulation, shall be included with the valuation for the RESCON permit.
- The provided valuation will be checked against current construction costs provided by the International Code Council, Engineering News Records or other means available to determine if the valuation is in line with current market costs.

SINGLE FAMILY			DUPLEX			
TYPE OF WORK	PERMIT TYPE	AMOUNT	TYPE OF WORK	PERMIT TYPE	AMOUNT UNIT 1	AMOUNT UNIT 2
Construction	RESCON	\$	Construction	RESCON	\$	\$
Detached Garage ¹	RESCON	\$	Detached Garage ¹	RESCON	\$	\$
Shoring ¹	RESCON	\$	Shoring ¹	RESCON	\$	\$

Footnote to Table Entries: 1. If applicable, issued separately from the construction permit.

RESCON Construction Valuation Total	\$
Other Permit(s) Valuation Total <i>(Other permits include ELEC, PUMB, BoilerAC, MECH and ROOF)</i>	\$
Zoning Construction Valuation Total <i>(RESCON plus Other Permit(s))</i>	\$
Project Gross Square Footage <i>(For ICC Verification)</i>	

Signature of Owner or Authorized Owner Representative _____

Full Name (Print) _____ Date _____

Site Plan & Elevations

Suburban/Urban/Urban Edge Lot

Circle one

Address _____

Owner/Applicant _____

Date _____

Zone District _____

Building Form _____

Zone Lot Area _____ S.F.

Zone Lot Width _____ ft

Primary Footprint _____ S.F.

Accessory Footprint _____ S.F.

Total Footprint _____ S.F.

Max. Coverage _____

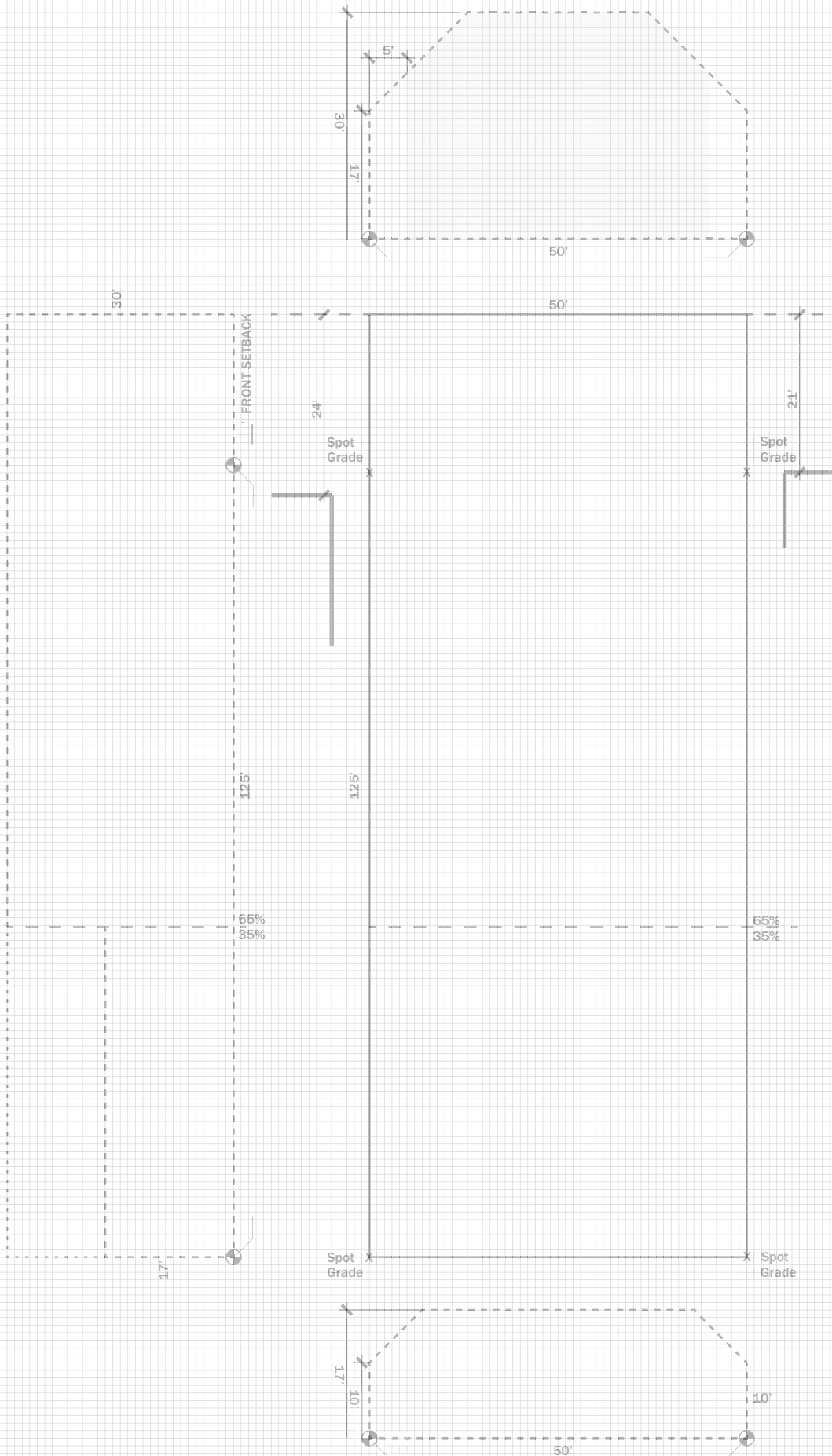
Proposed Coverage _____

Front Base Plane Elevation ____ ft

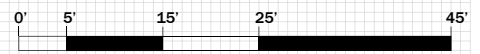
Rear Base Plane Elevation ____ ft

Proposed Use _____

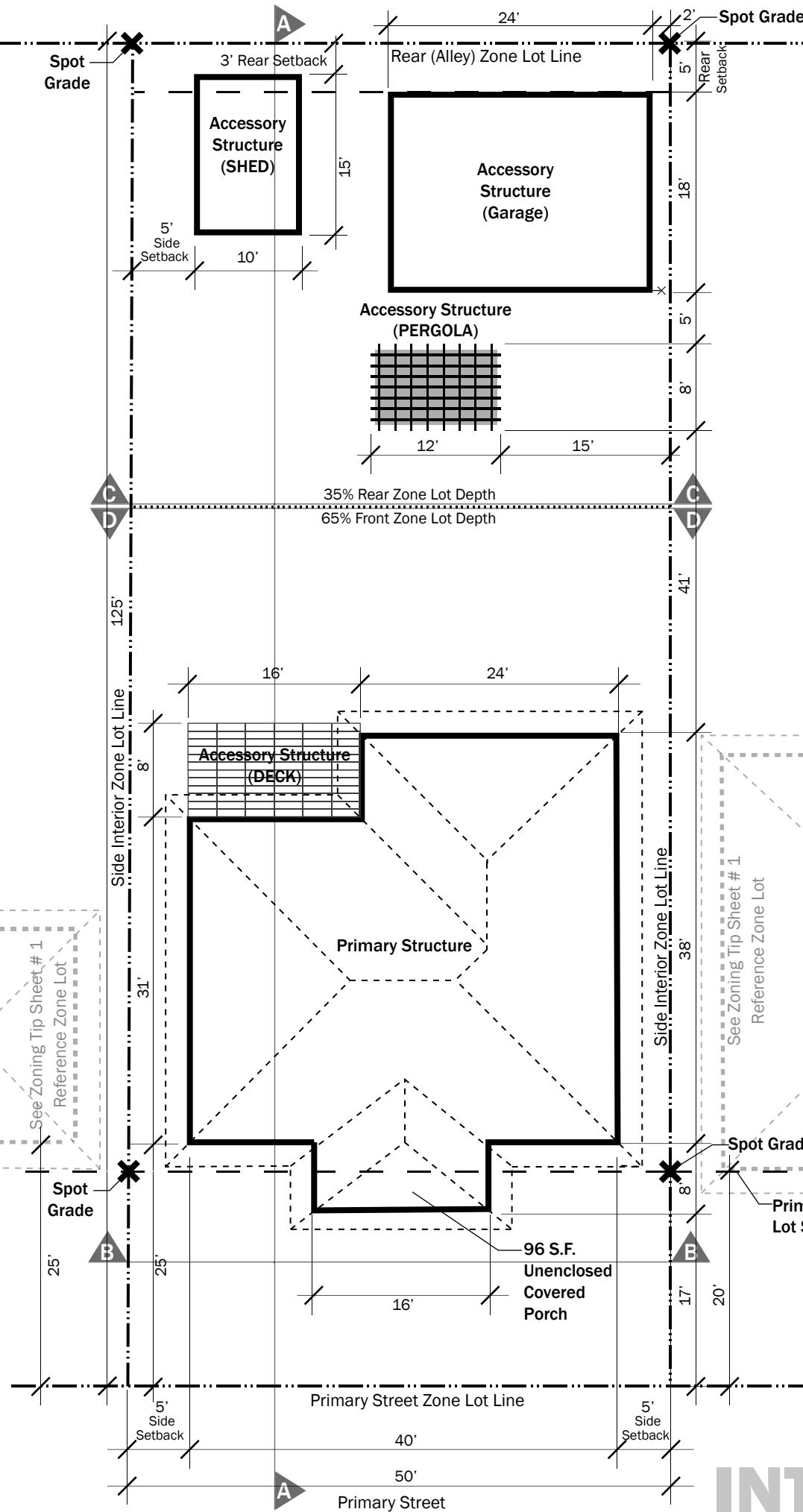
*** All plans must be consistent with the 2015 IRC and the 2016 Denver Building Code Amendments**



North



1" = 20'



SHED SAMPLE SITE PLAN

Address Owner Date

U-SU-B Zone District Urban House Building Form

Zone Lot Area 6,250 S.F.

50 Foot Wide Zone Lot

Primary Structure Footprint = 1,392 S.F.

Accessory Structure (Garage) = 216 S.F.

* 50% Reduction per DZC

Accessory Structure (Shed) = 150 S.F.

Total Building Footprints = 1,758 S.F.

Total Building Coverage = 28%

$1,758/6,250 = .281$ or 28%

Legend

Property or Zone Lot Line ————

Required Zone Lot Setback - - - - -

65%/35% Zone Lot Depth Line ·······

Exterior Building Footprint —————

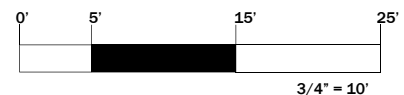
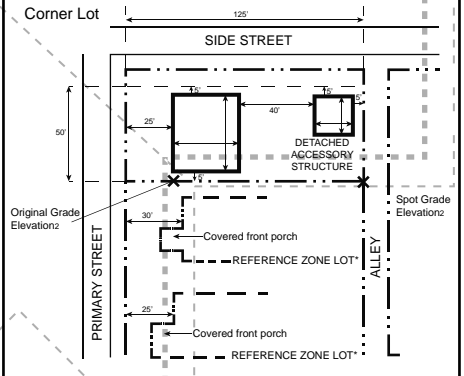
Roof Line - - - - -

Adjacent Structure Footprint ·······

Zoning Land Use Information

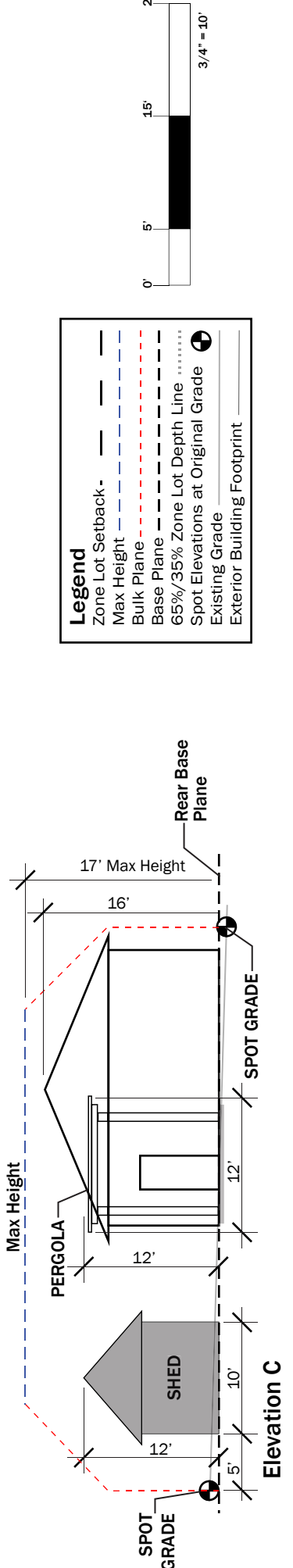
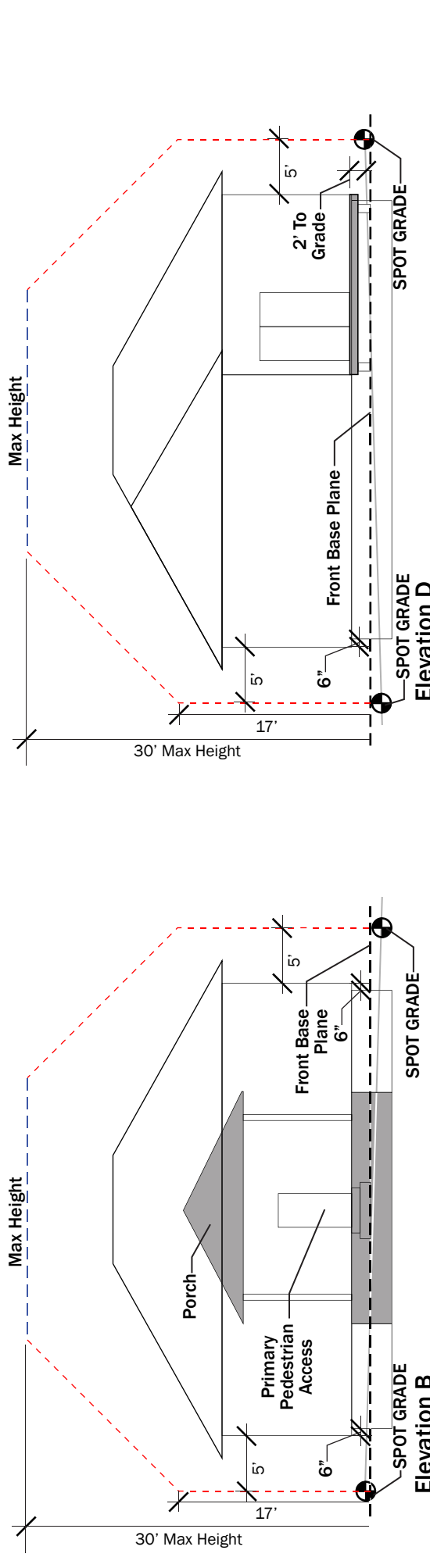
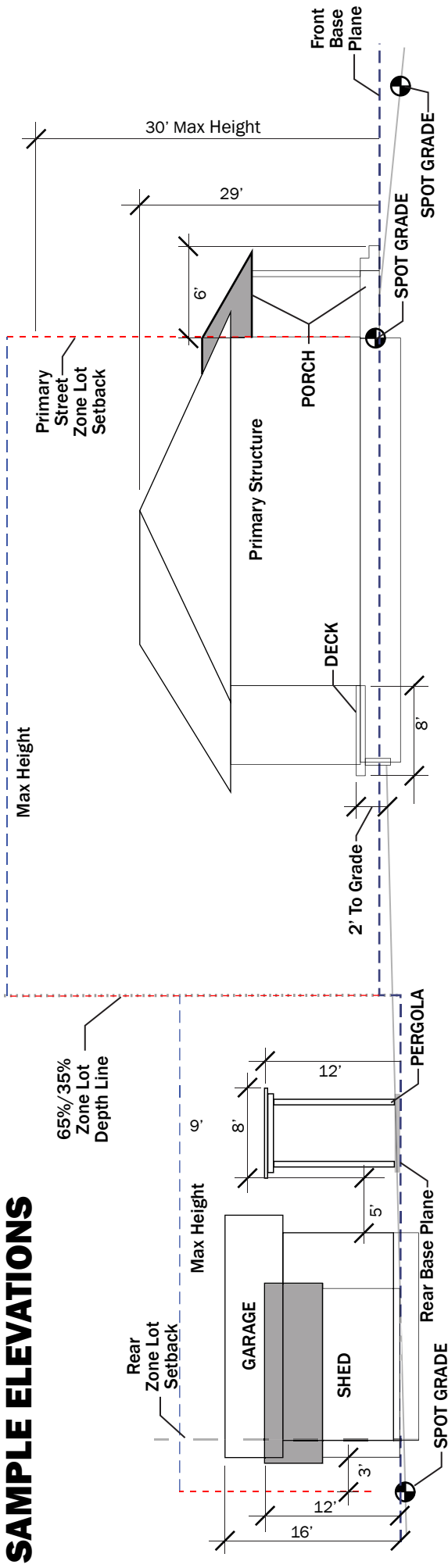
- If the front setback is less than 20 feet on one (but not both) of the reference zone lots, see Sec. 13.1.5.3.C.2.b of the Denver Zoning Code.
- If one of the reference zone lots is set back 50 percent or more of the zone lot depth from the primary street zone lot line, see Sec. 13.1.5.3.C.2.c of the Denver Zoning Code.
- If a structure is within 1 foot of required setback on any side of the lot, see setback verification policy, Admin. 133.3 in the 2011/2016 Denver Building Code Amendments.

* Your reviewer may ask to see building elevations, or other additional information, when it is necessary to complete a thorough and accurate review.



INTERIOR LOT

SAMPLE ELEVATIONS



Legend	
Zone Lot Setback	- - - - -
Max Height	— — — — —
Bulk Plane	- - - - -
Base Plane	- - - - -
65%/35% Zone Lot Depth Line	- - - - -
Spot Elevations at Original Grade	⊕
Existing Grade	— — — — —
Exterior Building Footprint	▭

