

AVOID DELAYS BY AVOIDING MISTAKES IN RESIDENTIAL SUBMITTALS

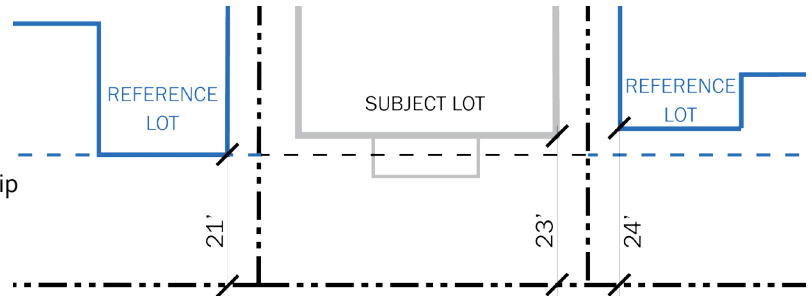
ENSURE THAT YOUR INTERIOR LOT PLANS INCLUDE REQUIRED ZONING INFORMATION...

The majority of residential projects not approved during their initial review are rejected because the following zoning information is missing. Save yourself time by making sure your plans include the following zoning information **before** submitting your project for review.

Reference Zone Lots

See Section 13.1.5.3 Denver Zoning Code & Zoning Tip Sheet #1.

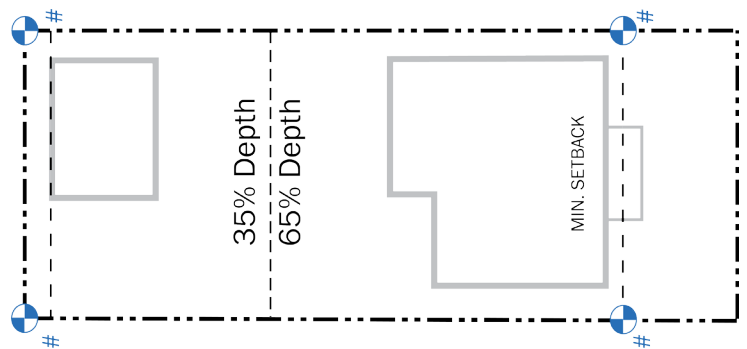
Used to determine block sensitive setbacks.



Spot Grade Elevations

See Section 13.1.2.2 and 13.1.2.3 Denver Zoning Code & Zoning Tip Sheet #2.

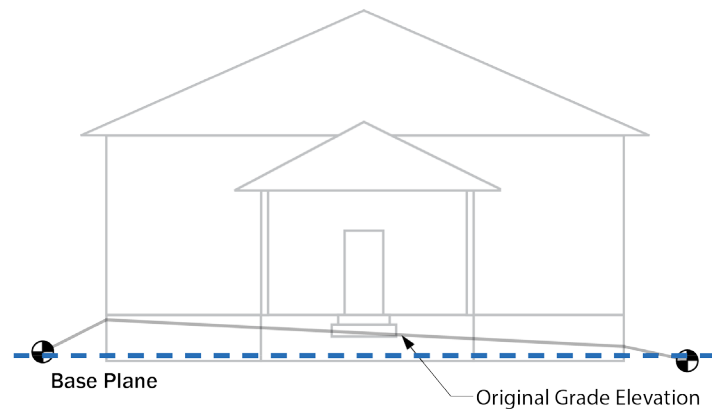
Used to establish base plane, which is used to calculate building height and bulk.



Base Plane

See Section 13.1.2.2 and 13.1.2.3 Denver Zoning Code & Zoning Tip Sheet #2.

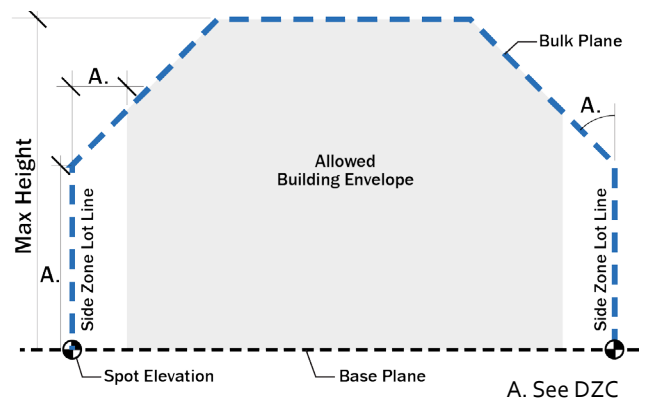
Used to appropriately scale new buildings relative to existing or planned neighborhood character.



Bulk Plane

See Section 13.1.4.2 Denver Zoning Code & Zoning Tip Sheet #2.

Used to reduce the effects of building massing on adjoining properties.



Zone Lot Amendments (If Applicable)

See Section 12.4.4 Denver Zoning Code.

Used to split, combine, or reconfigure a Zone Lot for development.